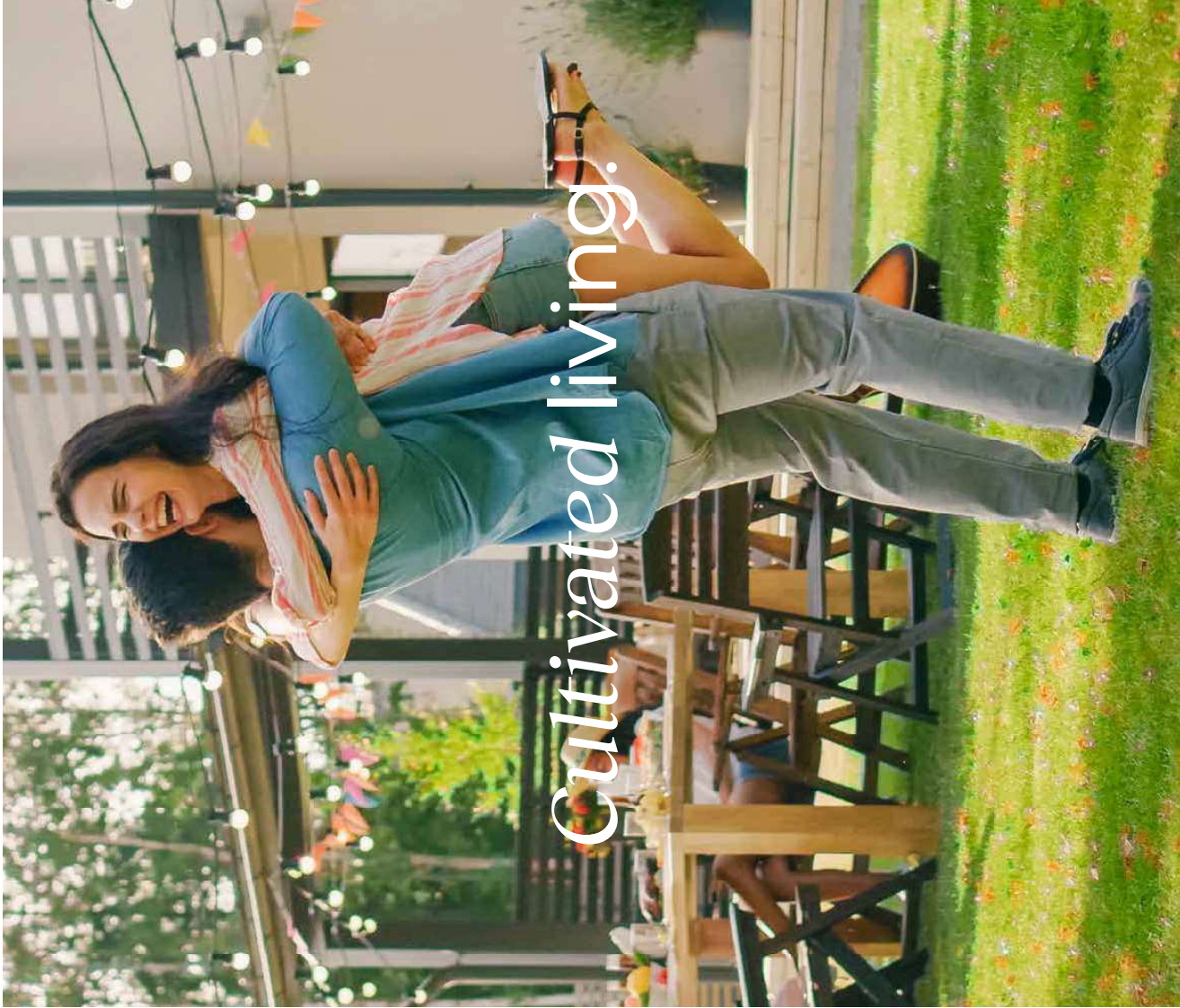


THORNHILL PARK • 3335
**The
Thornhill
Gardens**

*Design and Siting
Guidelines*





Contents



1. Introduction	2
1.1 The Thornhill Gardens Vision	2
1.2 Objective of the Design Guidelines	3
1.3 Developer Approval	3
1.4 Developer Approval Process	3
1.5 Submission Requirements	4
1.6 Submissions	4
1.7 Re-Submissions	4
1.8 Other Approvals	4
1.9 Small Lot Housing Code (SLHC)	5
1.10 Timing	5
1.11 Definitions	6
2. Site planning	8
2.1 Solar Access and Energy Efficiency Considerations	8
2.2 Setbacks	9
2.3 Allowable Encroachments	9
2.4 Façade Variety	9
3. Building appearance	10
3.1 Built Form Character	10
3.2 Façade Materials and Finishes	10
3.3 Roof Design	11
3.4 Garages	12
3.5 Corner Lots	13
4. Landscape design	15
4.1 Driveways	15
4.2 Fencing	16
4.3 Front Garden	17
5. Ancillary items	19
5.1 Telecommunications	19
5.2 Water Initiatives	19
5.3 Security Shutters/Doors	19
5.4 Signage	19
5.5 External Light Fittings	19
5.6 Service Equipment	19
5.7 Screening	20
5.8 Outbuildings	20
5.9 Maintenance	20
5.10 Waste Management	20

1. Introduction

1.1 The Thornhill Gardens vision

Here is a new community inspired by the world's best model towns and garden cities. But a vision this aspirational does not happen by chance. Instead a great deal of thought and planning goes into creating the most desirable contemporary homes, in harmonious neighbourhoods on stunning streetscapes that will only improve even more over time. This is where these Design Guidelines come in. By setting standards and ensuring everyone complies in terms of design, choice of materials and quality of workmanship, the dream that is The Thornhill Gardens can be realised.



1.2 Objective of the design guidelines

The Thornhill Gardens Design Guidelines have been created because we are conscious of the importance of building well designed homes in your new community. They have been developed to inform and guide you through the process of identifying and adopting elements, to help bring about individual houses that sit well in the streetscape and play a part in the establishment of safe neighbourhoods. In this way, they contribute to forming the foundations for maintaining, protecting and enhancing your most valuable asset: your home.

These requirements are imposed on each lot via Restrictions on the relevant Plan of Subdivision.

1.3 Developer approval

All homes built at The Thornhill Gardens must be approved by The Thornhill Gardens Design Assessment Panel (DAP), appointed by the developer, prior to applying for any Building Permit or commencing any construction works. This is to ensure that all plans comply with the Design Guidelines that are in place.

Applications for approval will be assessed against the current version of the Design Guidelines, which may be changed from time to time at the DAP's discretion, subject to council approval.

Interpretation and application of these Design Guidelines is at the sole discretion of the DAP. The DAP's decisions are final. No claims shall be made to the developer, the DAP or their representatives with respect to the decisions made.

The DAP reserves the right to vary or waive the requirements of the Design Guidelines. This may occur if it believes that a non-conforming proposal or an element, not strictly in accordance with the wording of the Design Guidelines, nonetheless makes a positive contribution to the overall objectives of the built form and/or streetscape at The Thornhill Gardens.

Allowance has been made for two submissions of each DAP approval application. Each additional submission, over and above these, may incur an administration fee, at the sole discretion of the DAP. New submissions for a lot that has already had an application approved may also incur an administration fee.

Please note that construction of two dwellings on a lot is strongly discouraged unless they are on corner allotments of 600sqm or above and subject to planning permit approval by Melton City Council.

1.4 Developer approval process

1. Select and purchase a lot that is ideal for you.
2. Choose your preferred builder and/or a house design that best suits your lot.
3. Familiarise yourself with the requirements of the Design Guidelines. Or ensure that your builder or building designer is familiar with them. Confirm with your builder or building designer that your house design adheres, or can be altered to comply, with the Design Guidelines.
4. Prepare and submit your house plans to the DAP

prior to lodging a Building Permit application. The DAP will review your proposal and provide written comments within 10 working days. If your proposal is not approved, detailed feedback will identify the issues that need to be addressed, in order for an approval to be issued. Your proposal must be amended and re-submitted for approval.

5. After your proposal is approved, you or your builder must apply for a Building Permit.
6. Once a Building Permit is issued, you may commence the construction of your home.
7. Obtain a Certificate of Occupancy.

1.7 Re-submissions

Should a re-submission be required, please ensure that any alterations or changes are suitably highlighted on the plans or in any accompanying communication. This will help to speed up the processing and assessment.

1.8 Other approvals

The requirements detailed in this document are in addition to, and not in lieu of, any other legal requirements. Approval by the DAP does not exempt the plans from any building or statutory regulations, nor infer compliance with the building regulations or other applicable statutory legislation. Separate approval must be obtained from the relevant authorities. It is the responsibility of the owner to ensure any other approvals, authorisation permits, or other requirements are obtained and satisfied.

1.9 Small Lot Housing Code (SLHC)

These guidelines apply to all single dwelling lots at The Thornhill Gardens. Lots that provide a single dwelling and have an area less than 300sqm are also subject to the requirements of the Small Lot Housing Code (SLHC). In the event of any clash between the SLHC requirements and these Design Guidelines, the SLHC shall take preference. The DAP will not assess proposals against the requirements of the SLHC.

1.10 Timing

1. Construction of your dwelling must start within 12 months of the original lot settlement date, unless otherwise agreed to in writing by the developer.
2. Completion of your home, including garage, driveway, fencing and retaining walls must occur within 12 months of construction starting, unless otherwise agreed to in writing by the developer.
3. The front garden landscape must be completed within 4 months of the date on the Occupancy Permit.
4. All fences and driveways must be complete before a home is occupied.

1.5 Submission requirements

All submissions for Design Approval must be in PDF format and include the following information:

1. Site plan at 1:200 with dimensions and showing:
 - Lot boundaries and any easement(s) on title
 - Proposed building footprint including all setbacks
 - On-site car parking and driveways
 - Other external structures (including pools and spas)
 - All ancillary items
2. All floor plans, roof plans and elevations at 1:100 with dimensions and showing:
 - Internal layout as well as any pergolas, decks, terraces, balconies, verandahs, windows, doors and other openings
 - Proposed floor levels
 - Finishes and colour samples

- Provide samples or images (swatches, colour photos, paint chips etc.) of all proposed external materials and colour selections
- 4. Landscape plan at 1:100 with dimensions and showing:
 - Indicative extent of all hardscape and softscape
 - Planting schedule that lists all proposed species referenced on landscape plan
 - The extent, height and finish of all proposed retaining walls

Do not send information such as electrical plans, slab layouts, joinery details, internal colour schemes etc. This extra information slows down the assessment process and may result in a submission being rejected.

1.6 Submissions

When you are ready to make your submission to the DAP, you can lodge it via the following email: thethornhillgardens@jrdapprovals.com.au

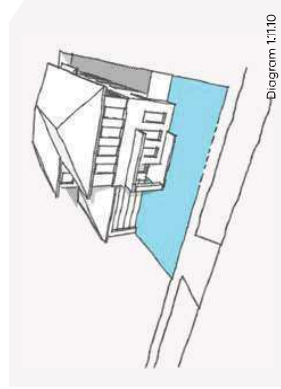
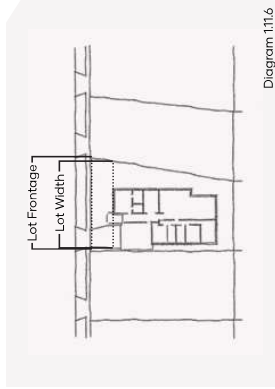
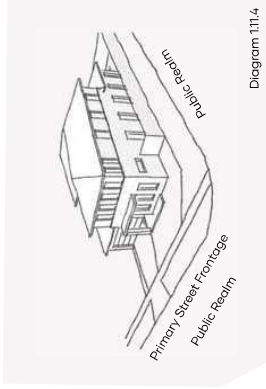


Introduction

1:11 Definitions

For the purposes of these guidelines:

1. Public Realm is any land that is within the ownership of a public body, including council and servicing authorities.
2. Primary Frontage is the boundary that abuts the Public Realm.
3. A Corner Lot is any lot that has more than one boundary that abuts the Public Realm.
4. On corner lots, the primary frontage is the shorter one adjacent to the street.
5. A Side Boundary is the boundary on either side of the primary boundary.
6. For irregular lots, the Lot Width is the width of the lot at the front building line. (The front building line does not include the entry feature of a dwelling).
7. The Front Building Line is the external face of the front most habitable room wall. Entry features, porches, porticoes etc. do not form part of the front building line.
8. A Habitable Room is a living/lounge room or a bedroom.
9. Natural Ground Level means the finished surface level of the ground at the time of registration of the Plan of Subdivision.
10. Front Garden refers to the whole area between the front boundary of a lot and the dwelling, garage & return fence.
11. Front Loaded refers to a lot where the garage is accessed from the primary frontage.
12. Side Loaded refers to a lot where the garage is accessed from a secondary frontage.
13. Rear loaded refers to a lot where the garage is accessed from the rear of the lot, usually from a lane or secondary street.



2. Site Planning

2.1 Solar access and energy efficient considerations

The Design Guidelines encourage a range of practices that will assist in achieving sustainable solutions and there are many factors to be considered.

Orientation

Proper orientation of your home will help manage climatic conditions. It will also contribute to the creation of favourable micro climates within the home. Proper orientation is environmentally responsible and can save you on energy running costs while increasing the enjoyment of your home.

Correct orientation should:

- Utilise the northern aspect for day time living areas and private open spaces (courtyards, patios etc.)
- In contrast, position sleeping and services' spaces to the south
- Avoid prolonged exposure and unwanted heat loading to living areas during hot summers
- Maximise natural light and solar access to living areas during cold winters

Private Outdoor Open Space

Private outdoor spaces should be well integrated with internal living areas and take advantage of the northerly aspect. They should be designed to be out of sight of adjacent buildings and provide low maintenance outdoor areas for recreational and social activities, passive amenity and landscaping.

Shading

Where practical, eaves to the perimeter of the building should extend long enough to block out the summer sun but allow the winter light to penetrate through the windows.

Heating and Cooling

- Passive solar design, using thermal mass construction, can help keep an area cool during the day, then releases the heat at night. Use of materials with high thermal mass, such as concrete floors, masonry walls, stone and ceramic surfaces, will assist with the overall thermal efficiency of the building
- Compliant insulation through the mandatory use of minimum National Construction Code levels
- Double glazing on windows

Lighting

- Incorporate maximum natural light
- Introduce skylights
- Zoning
- Dimmers
- Motion sensors
- Timers
- LED lights (External light fittings must not result in excessive light spill)

Hot Water System

- Locate HWS close to bathroom, kitchen or laundry
- In design, cluster wet areas to reduce pipe run
- Insulate hot water pipes
- Mandatory use of either gas hot water, heat pump or solar hot water in the design of the dwelling

2.2 Setbacks

The following setbacks are required for all lots that are not subject to the SLHC:

1. The front building line of a dwelling must be setback a minimum of 4m from the front boundary.
2. Front loaded garages must be setback a minimum of 5m from the front boundary and located adjacent to the side boundary, unless the side boundary abuts public open space.
3. Side setbacks must be a minimum of 1m from at least one side boundary and 2m from a secondary street boundary.
4. Side loaded garages must be setback a minimum of 5m from the secondary street boundary and located adjacent to the rear boundary, unless the rear boundary abuts public open space or there is an easement along the rear boundary. Where there is an easement along the rear boundary, the garage must be setback to accommodate the easement.
5. Rear setbacks must be a minimum of 2m, except for garages which must be located as detailed above.

To allow for the smaller dimensions, lots that are less than 300sqm in area have different setback requirements to ones that are larger. For further details, refer to the SLHC information mentioned earlier.

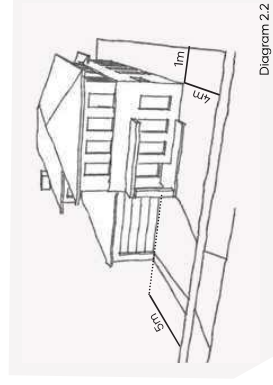


Diagram 2.2

2.3 Allowable encroachments

1. Entry features such as verandahs, porches, porticoes and balconies may encroach up to 1.5m into the front setback. The only proviso is that the encroachment is less than 3.6m above natural ground level.
2. Eaves, gutters, fascias may encroach up to 0.6m into a setback

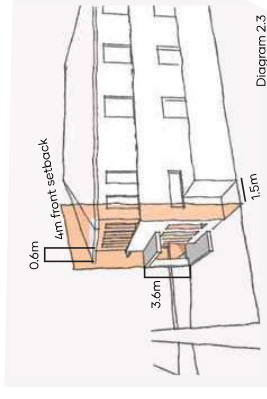


Diagram 2.3

2.4 Façade variety

The front façade of a lot must not be identical to another within three house lots, on either side of the street.

The first complete application to be received takes precedence over subsequent ones and the determination of any façade variations required for approval will be at the sole discretion of the DAP.

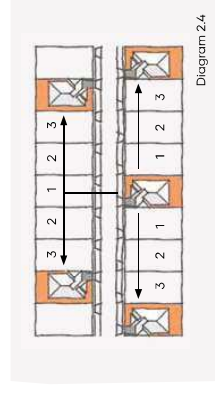
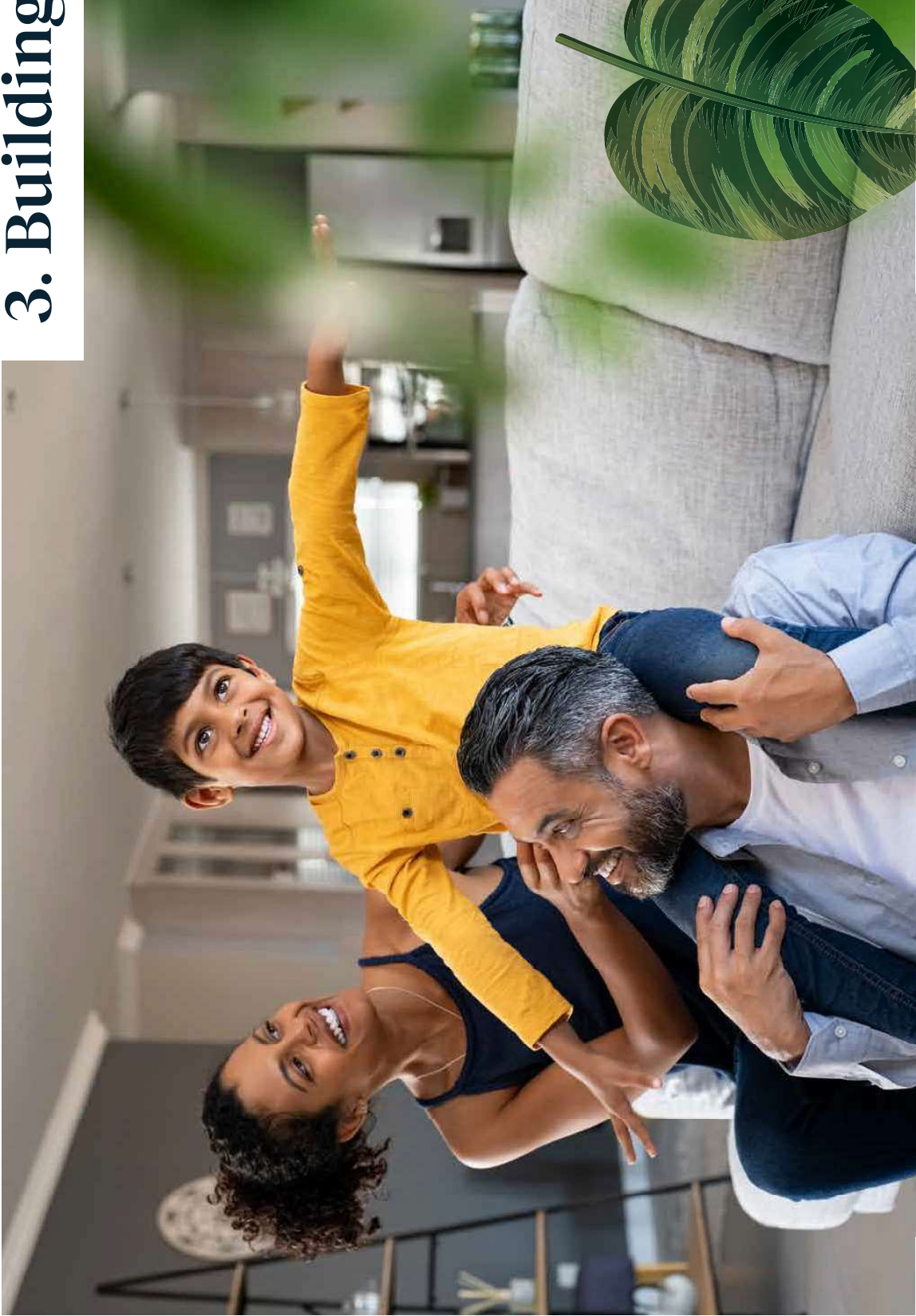


Diagram 2.4

3. Building Appearance

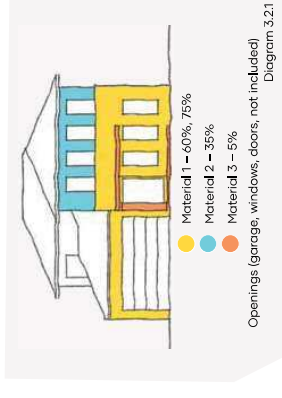


3.1 Built form character

1. The overall appearance of a dwelling must add visual interest to the public realm. This can be via the use of articulation of the form, massing and variety in the use of openings, as well as the materials and finishes used for the front façade.
2. The front façade of the dwelling must incorporate a feature at the front door that addresses the primary frontage and creates a strong sense of entry. This feature may take the form of a portico, porch, balcony, etc. at the front door.
3. Every dwelling must have at least one habitable room window on each storey that looks out to the public realm frontage.
4. The habitable room window must have appropriate head and sill heights to provide passive surveillance to the public realm.
5. The maximum height of any building must not be more than 9m, measured from natural ground level.

3.2 Façade materials and finishes

1. External colour schemes for the dwelling, outbuilding, driveway and landscaping surfaces should adopt a palette of predominantly muted, neutral tones and materials. Bright or fluorescent vibrant colours are not supported unless they are deemed complementary to the design and palette of the dwelling.



- The front façade must be constructed using a mixture of external materials or finishes. One material must not comprise more than 75% of the front façade.
This calculation does not include any openings (doors, including the garage door, windows etc.).

Appropriate materials or finishes include:

- Face Brick
 - Render
 - Stacked stone
 - Masonry blocks
 - Weatherboard
 - Timber cladding
 - Other materials at the discretion of the DAP
- In order to facilitate Hebel constructions, contrasting render colours may be considered as different materials, again at the discretion of the DAP.
 - Contrasting face brick or block colours will not comply with the requirement for a mixture of finishes.

- The following finishes are not permitted:

- Galvanised or zincalume
 - Raw fibre cement
 - Untreated concrete block or pre-cast concrete
 - Lead-light or stained glass
 - Reflective glass
- All ancillary items such as balustrades, down pipes and gutters and other minor architectural detailing items must be of a similar colour to one of the selected facade colours.
 - Infill panels or recessed panels are not permitted above any doors, windows or garage entrances.
This applies to all elevations. The finish above the opening must match the finish on either side of the opening, unless the DAP considers the panels to be part of an allowable design element.

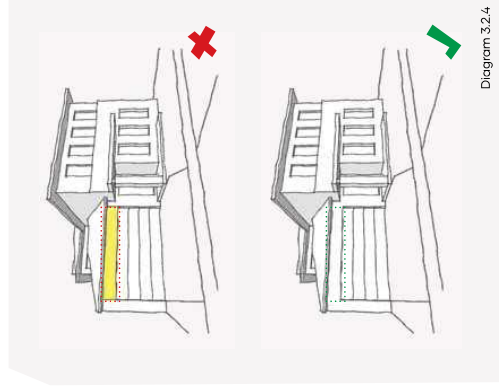


Diagram 3.2.4

3.3 Roof design

A variety of roof shapes are encouraged. Articulated roof shapes with elements such as hips, gables, are preferred. Single hip and single gable roof forms to the front façade will not be approved and box guttering must be hidden from street view.

Single Storey Pitched Roofs

- Pitched roofs on a single storey portion of a home, must have:
 - A minimum roof pitch of 22 degrees
 - A minimum eaves width of 450mm to the front façade, including the garage.
 - The front eaves returning along the side wall for at least 3m, unless the wall is on the boundary. Habitable room windows must be positioned to allow for this.

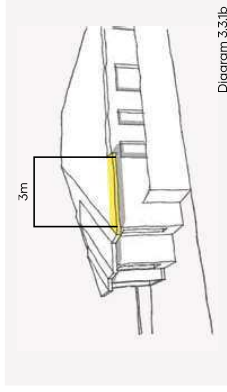


Diagram 3.3.1b

Other Roof Forms

- Skillion roofs must have a roof pitch of 10 degrees unless the skillion presents to the front of a roof line that is majority pitched, where it must match the pitch majority roof.
 - Roofs with a pitch of 5° or less must be screened from the public realm by a parapet.
 - Parapets on the front façade must be returned along a side wall for at least 500mm.
This includes walls on a boundary.
Parapets without a return along the side will not be approved.
- Corner lots have slightly different requirements for roof design. Please refer to Section 3.5.

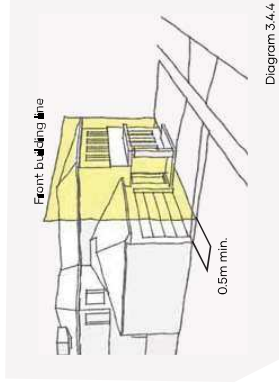


Diagram 3.4.4

Double Storey Pitched Roofs

- Pitched roofs on the upper level of a home must have:
 - A minimum roof pitch of 22 degrees
 - A minimum eaves width of 450mm to the entire upper level.

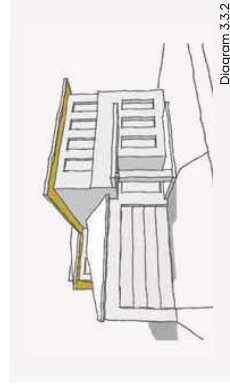


Diagram 3.3.2

3.4 Garages

- All lots must incorporate a fully enclosed garage that matches or complements the dwelling in materials, colours and finishes.
 - Carports and open sided garages are not allowed.
 - Garages accessed from the primary frontage of a lot must be integrated into the overall form of the dwelling.
 - Integrated garages must be stepped back a minimum of 500mm from the front building line.
 - Garages that are not accessed from the primary frontage may be detached, at the discretion of the DAP.
 - Double garage width must not exceed 6.5m internally.
 - Provision for additional space for storage space or a workshop will be considered by the DAP, where the wall facing the public realm has appropriate articulation. Examples of appropriate articulation is the use of windows and/or steps in the wall, to the satisfaction of the DAP.
 - Roller doors are not permitted if they are visible from the public realm.
- To limit the impact of garage doors to both the dwelling and the street, garage door sizes are limited as follows:

Lots less than 12.5m wide

- Single storey dwellings require a single garage with a maximum door width of 2.6m. Double garages are not permitted on single storey dwellings.
- For two storey dwellings, garage door widths may be up to 40% of the lot but only width where balconies or windows are provided above the garage.

Lots at least 12.5m wide and 14m wide or less

- The maximum width allowable for the garage door opening is 5.5m.

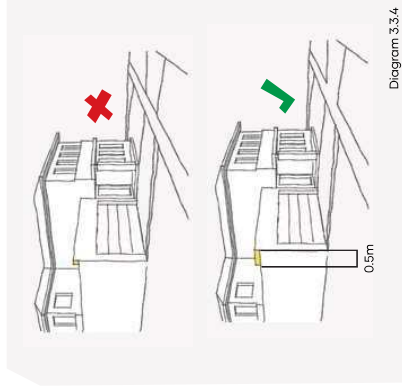


Diagram 3.3.4

Lots more than 14m wide

- For single storey dwellings, the garage door opening must not exceed 40% of the width of the lot.
- For two storey dwellings, garage door openings that exceed 40% of the lot width are discouraged. Notwithstanding, they will only be permitted where balconies or windows are provided above the garage.

Triple Garages

- Triple garages are strongly discouraged. In addition to the other requirements in this section, triple garages will only be allowed where the lot is:
 - A non-corner lot with primary frontage 18m and above, or a corner lot with primary frontage 20m and above; and
 - Garages must comprise either one double and one single garage element or three single garage elements; and
 - The wall that contains the third door must be stepped back at least 500mm from the other front wall of the garage.

Corner Lot Garages

- Garages on corner lots must not be located on the corner where the primary and secondary frontages meet.

3.5 Corner lots

Dwellings located on corner lots are in a prominent position within the estate. As such they are required to provide façade articulation to both the primary and secondary street frontages. This is so the façade 'wraps' around the corner and becomes a feature in the streetscape. Dwellings on corner lots must address the secondary frontage by incorporating the same or similar design features to those used on the primary frontage (Corner Features).

- Examples of acceptable corner features include, but are not limited to:
 - Window
 - Materials and finishes
 - Architectural elements such as pies, pergolas, balconies etc.
 - Dwellings must have at least one window per storey on the secondary façade, forward of the return fence. This window must have the same head height as the closest front façade window and a sill height that provides for a sense of passive surveillance from the public realm. It should also be a habitable room window.
 - Materials used at the interface of a corner lot must continue from the primary façade, along the secondary façade for a minimum of 3m.
 - Dwellings on corner lots must include eaves with a minimum depth of 450mm to all sides facing the public realm, unless otherwise approved by the DAP.
 - Corner features must be forward of the return fence and readily visible from the public realm. Please note that blank walls forward of the return fence are not permitted.
- Corner lots also have additional fencing requirements compared to lots that are not corner lots. Please refer to section 4.23.

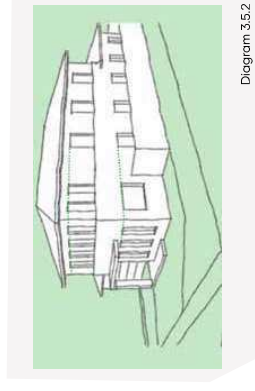


Diagram 3.5.2

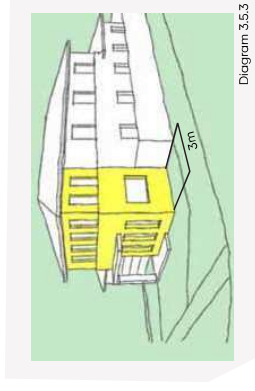


Diagram 3.5.3

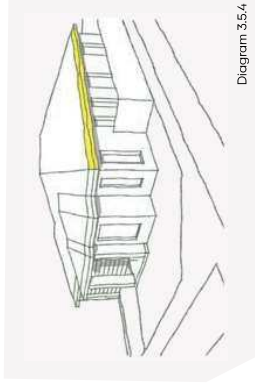
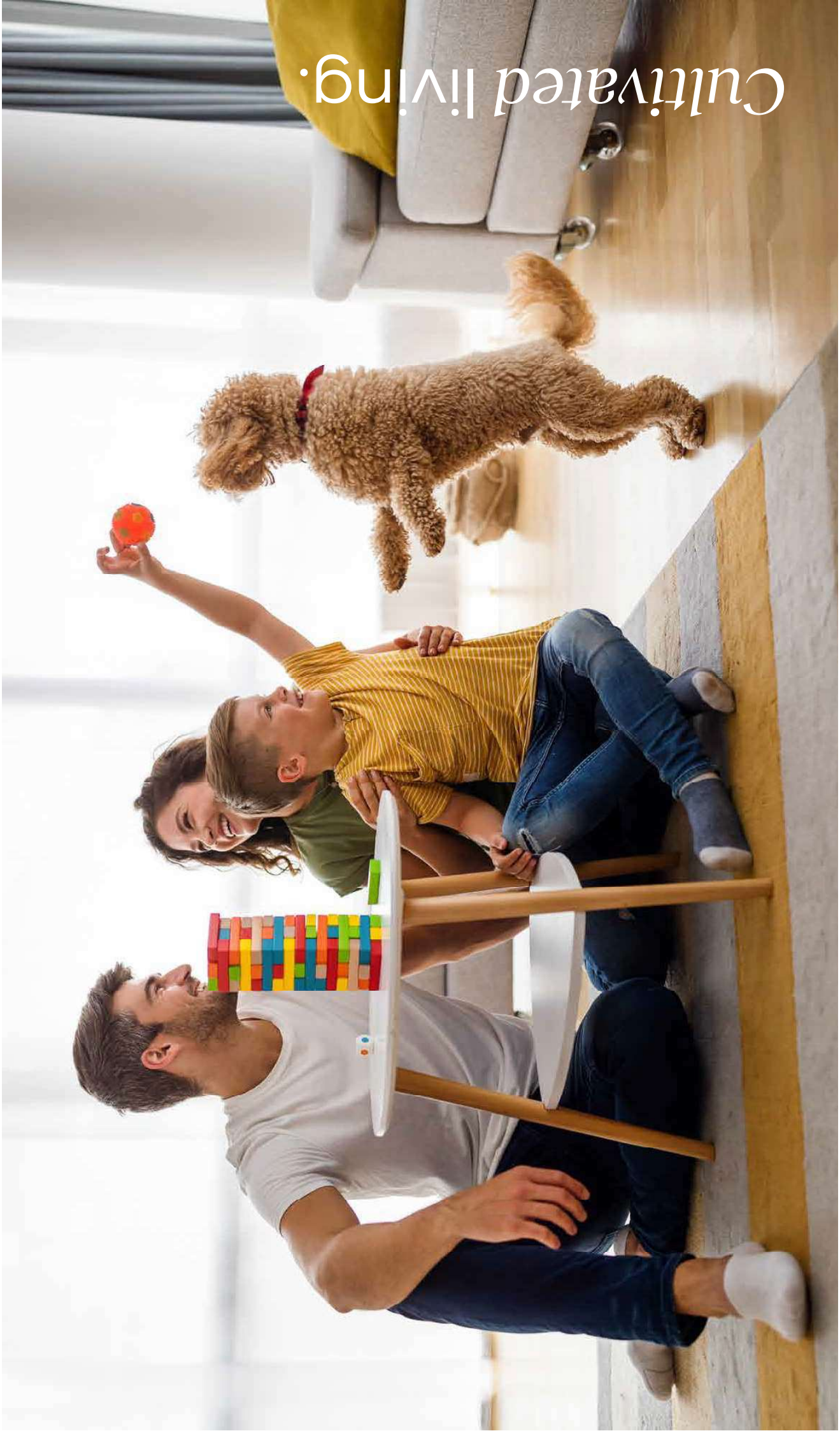


Diagram 3.5.4

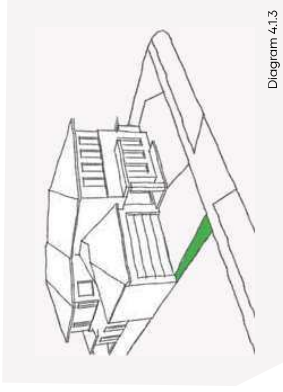
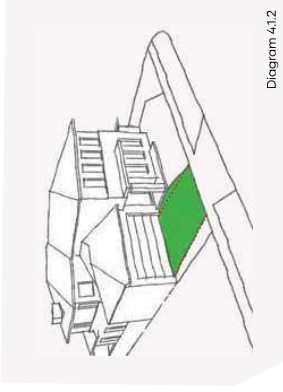
Cultivated living.



4. Landscape Design

4.1 Driveways

1. Only one crossover is permitted per lot.
2. The driveway must not be wider than the garage opening at the dwelling and should taper to the width of the crossover at the front property boundary.
3. The driveway must be set minimum 0.5m off the side boundary. This is to allow for a planting strip along that side boundary of the property.
4. Driveways must be constructed from:
 - Exposed aggregate concrete or
 - Coloured concrete or
 - Any other DAP approved finishPlain (uncoloured) concrete or asphalt driveways are not permitted.
5. The colour of the driveway should be in a muted tone that enhances the streetscape.

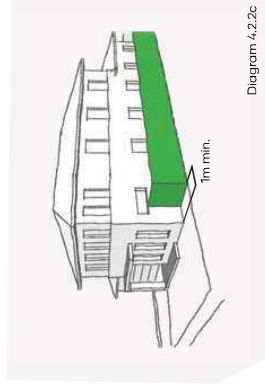
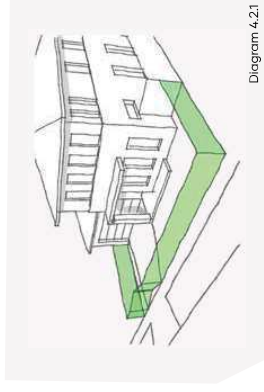


4.2 Fencing

All proposed fencing must be included in the documents submitted for DAP approval.

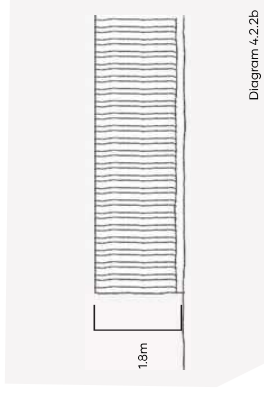
Front Fencing (fencing forward of the dwelling or garage)

1. Fencing is not permitted forward of the building line.



Side and Rear Fence (fencing on the boundary between lots)

2. Side and rear fencing must be:
 - a. Constructed with timber posts, a 150mm bottom plinth, and lapped timber palings; and
 - b. A maximum height of 1.8m above natural ground level; and
 - c. Terminated a minimum of 1m behind the closest front wall of the dwelling; and
 - d. Returned to meet the closest side wall of the dwelling (return fence).



Corner Fence (fencing on a side boundary that abuts the public realm)

3. Corner fencing must be:
 - a. Constructed with exposed timber posts, a 150mm bottom plinth, lapped timber palings and timber capping, and
 - b. A maximum height of 2m above natural ground level for the posts; and
 - c. A maximum height of 1.9m above natural ground level for the capping; and
 - d. Terminated a minimum of 4m behind the closest front wall of the dwelling; and
 - e. Returned to meet the closest side wall of the dwelling (return/wing fence).

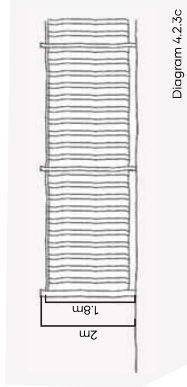


Diagram 4.2.3c

Return Fence (fencing between the boundary fence and the dwelling or garage)

4. The return fence must be timber slats or constructed to match the adjacent boundary fence.
5. The return fence must not be higher than the adjacent boundary fence.

Side Gates

6. Gates that form part of a fence must match the height, material and specifications of the fence.

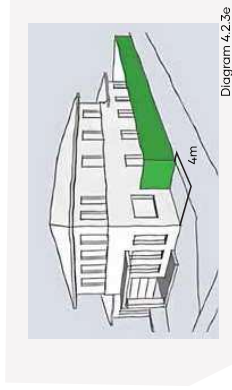


Diagram 4.2.3e

4.3 Front garden

1. The landscape works to the front garden and nature strip must comply with the Design Guidelines. A landscape plan must be submitted for DAP approval as part of the process and incorporate the following as a minimum:
 - At least 60% of the front garden area must be comprised of permeable surfaces such as:
 - Drought resistant lawn
 - Lawn alternative such as ground-covers, river pebbles, Lillydale topplings etc.
 - Garden beds with trees, shrubs etc.

3. Grass lawn (pre-grown turf) must be a warm season variety and should be installed on a minimum 100mm depth topsoil.

4. In addition to the driveway, paths and paving should complement the style of the front yard. Allowable finishes include:
 - Natural stone
 - Timber
 - Pavers
 - Exposed aggregate concrete
 - Granitic sand

5. At least one tree must be planted between the front building line and the street boundary. The tree must have a height of at least 2m when planted and be supplied from a minimum 40 litre container to maximise its immediate impact.

6. Consideration should be given to the mature size of any trees, to allow appropriate room for roots and branches to spread.

7. In addition to the tree requirement above, further plants required in your front yard are as follows:
 - a. An absolute minimum of 5 medium to large shrubs (from 200mm pot size at planting); and
 - b. An absolute minimum of 20 smaller shrubs or ground cover plants (from 150mm pot size at planting).

- Declared weed species are not permitted.
- Plants should be chosen from Council's Landscape Design Guidelines. Plant species to be used in front gardens are to be hardy, appropriate to the site and have reasonable drought tolerance to reduce the need for irrigation.

9. Consideration should be given to the cultivation of existing soil in the garden beds to a 200mm depth, the addition of imported topsoil and fertiliser to the garden bed, and the covering of the garden beds with timber or similar mulch.

10. All garden beds must be edged using timber, masonry or steel, and should be densely planted to ensure good coverage of growth. Empty spaces between species (once the plants have reached maturity) should be avoided.

- Brightly coloured or coarsely textured wood mulches (such as dyed shredded wood or shredded pallet wood) and brightly coloured pebbles (such as reds or whites) are not permitted.

11. The nature strip(s) outside the lot is/are included as part of the works required for successful completion of the landscaping.

- Nature strips must achieve neat and even grass coverage and any damage caused during construction of the dwelling must be rectified. Artificial turf is not permitted in the nature strip.

12. The letter box must be positioned at the front of the lot with the number of the property clearly displayed.

- The letter box should complement the dwelling and front landscape in terms of materials, colour and style.

- Single post letter-boxes are not permitted.

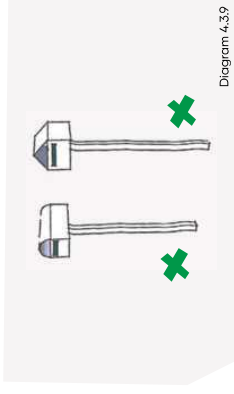
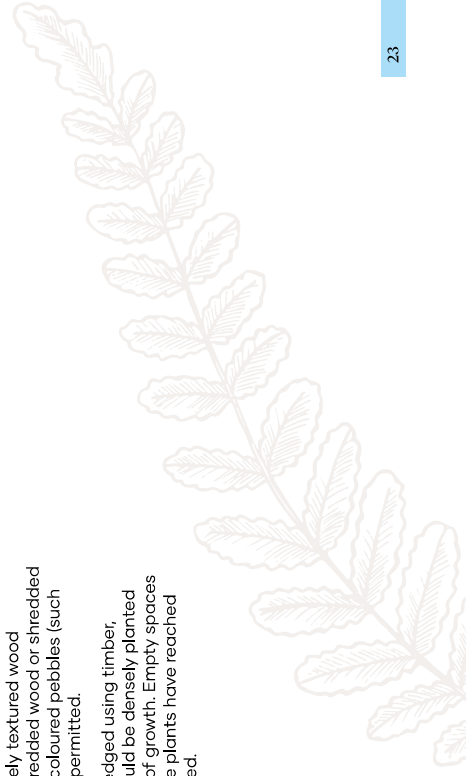


Diagram 4.3.9



5. Ancillary Items

5.1 Telecommunications

The Thornhill Gardens will be provided with "fibre to the home" high speed broadband infrastructure via an agreement with OptiComm. This agreement offers access to high speed broadband internet, telephone, digital "free to air" and pay television as well as possible future services such as IPTV, home security, video on demand and more.

It is important to ensure that your home is capable of connecting to the OptiComm fibre network and your home is wired to enable the delivery of the digital services available on the cable. Details on how to correctly wire your house and the process for arranging connection are available at www.opticomm.net.au.

5.2 Water initiatives

Alternative water supplies will be required within the development to reduce stress on the potable water reserves.

1. Each dwelling must incorporate plumbing that allows for connection to any future recycled water supply.
2. All dwelling are encouraged to be connected to a rainwater storage tank.
3. On all lots that are larger than 300m², the dwelling must incorporate a rainwater storage tank that must be:
 - a. At least 2000 litres in capacity
 - b. Connected to all toilets and to a front and rear outdoor tap.
 - c. Located such that it is not readily visible from the public realm.

The size and location of rainwater storage tanks must be nominated on the site plan submitted for Developer Approval



5.3 Security shutters/doors

Roll down security shutters must not be visible from the public realm.

5.4 Signage

1. Signs to advertise the sale of a vacant lot are not permitted unless approved by the developer.
2. One sign only may be erected to advertise the sale of a completed dwelling.
3. Signs for dwelling names and home businesses are not permitted.

5.5 External Light fittings

1. External light fitting must not result in excessive light spill.

5.6 Service equipment

2. Satellite dishes, antennae or external receivers must be:
 - Located to the rear of the dwelling and
 - Not readily visible from the public realm
3. Heating and cooling units must be:
 - Located towards the rear of the dwelling
 - Not readily visible from the street and if located on the roof must be
 - Positioned below the ridge line
 - To the rear of the roof and
 - Coloured to match the roof as far as practical
4. Photovoltaic cells, solar panels and the like may be located to maximise their efficiency as long as they integrate with the roof form.

5. Meter boxes and gas meters must not be located on the front facade.

5.7 Screening

1. Ancillary structures and elements must be located behind the side/return fences, so as to be screened from the public realm, subject to any relevant regulatory requirements. This includes items such as:
 - Clothes lines
 - Hot water systems
 - Any water storage tanks
 - Spa pumps
 - External plumbing other than that for rain water
 - Sheds and outbuildings

2. Garbage bins should be located behind the return fence so that they are not visible from the Public Realm. Garbage bins that are stored to the front of the property, must be screened from view from the public realm by an integrated enclosure, screen or fencing appropriate to the design of the dwelling.

3. Trucks, commercial vehicles exceeding 15 tonnes, recreational vehicles, trailers, caravans, boats, horse floats or other like vehicles must be located so that they are not readily visible from the public realm when parked or stored on the lot.

5.8 Outbuildings

In addition to the screening requirements above, sheds and outbuildings must be no higher than 2.4m above natural ground level, incorporate gutters and downpipes, and must have a powder-coated or painted appearance.

Street Tree Protection

7. It is the responsibility of the landowner to ensure that any street trees and/or nature strips are protected during all building works. It is the owner's responsibility to ensure that any damage caused during construction is rectified.

5.10 Waste management

Reducing your household excess waste through the reuse, reduce and recycle practice is encouraged. Consider locally sourced recycled materials and products to assist this process. Below are some tips for helping to manage your waste efficiently:

- Provide adequate space and access for recycling and garbage disposal
- Talk to your builder about recycling waste during the construction phase
- Minimise packaging through the materials you select
- Consider recycling waste products from the construction in your garden (such as timber off cuts and damaged bricks etc.)
- Create a worm farm or compost bin for feeding and maintaining your garden
- Reuse green waste wherever possible in the garden.

5.9 Maintenance

1. The lawn should be maintained and regularly edged to present neatly.
2. The purchaser shall not allow any rubbish including site excavations and building materials to accumulate on a lot (unless the rubbish is neatly stored in a suitably sized industrial bin or skip) or allow excessive growth of grass or weeds upon the lots.
3. The purchaser shall not place any rubbish including site excavations and building materials on adjoining land, reserve or in any waterway.

Crossover and Footpath Protection

4. It is the responsibility of the landowner to ensure that any required Asset Protection Permits are obtained prior to the commencement of building works.
5. The lot owner must ensure that photographic evidence of any prior damaged public infrastructure within the vicinity of the lot is documented before construction commences.
6. Any damage arising from dwelling construction activity must be rectified at the cost of the lot owner.



THORNHILL PARK • 3335

The Thornhill Gardens

thornhillgardens.com.au

